

Name: <u>The Grandahl Family Trust</u>		Name: <u>COLUMBIA TRAIL RESOURCES, INC.</u>	
Mailing Address: <u>219 W. Highway 12</u>		Mailing Address: <u>3808 N Sullivan Road</u>	
City/State/Zip: <u>Dayton, WA 99328</u>		City/State/Zip: <u>Spokane Valley, WA 99216</u>	
Phone No. (including area code): _____		Phone No. (including area code): <u>(509) 924-1720</u>	
3. Send all property tax correspondence to: <input type="checkbox"/> Same as Buyer/Grantee		List all real and personal property tax parcel account numbers - check box if personal property	
Name: <u>The Grandahl Family Trust</u>		2-012-38-019-3600 <input type="checkbox"/>	
Mailing Address: <u>219 W. Highway 12</u>		2-012-38-024-0000 <input type="checkbox"/>	
City/State/Zip: <u>Dayton, WA 99328</u>		<input type="checkbox"/>	
Phone No. (including area code): _____		List assessed value(s)	

4. Street address of property: 219 W. Highway 12, Dayton, WA 99328

This property is located in Columbia County

☐ Check box if any of the listed parcels are being segregated from another parcel, are part of a boundary line adjustment or parcels being merged.

Legal description of property (if more space is needed, you may attach a separate sheet to each page of the affidavit)

Water Right Chain Number: 300054, WALL-17405, appurtenant to portions of Section 24, T. 12N, R. 38 E.W.M. and portions of Section 19 within T. 12 N., R. 38 E.W.M., Columbia County, Washington.

5. Select Land Use Code(s): <u>NO - Water or Forested lands</u>		7. List all personal property (tangible and intangible) included in selling price.	
enter any additional codes: (See back of last page for instructions)		WAC No. (Section/Subsection) _____ Reason for exemption _____	
6. Was the seller receiving a property tax exemption or deferral under chapters 84.36, 84.37, or 84.38 RCW (nonprofit organization, senior citizens or disabled person, homeowner with limited income)?		If claiming an exemption, list WAC number and reason for exemption: _____	
YES NO <input type="checkbox"/> <input checked="" type="checkbox"/>		Type of Document: <u>Water Right Statutory Warranty Deed</u>	
Is this property designated as forest land per chapter 84.36 RCW? <input type="checkbox"/> <input checked="" type="checkbox"/>		Date of Document: <u>8-3-2018</u>	
Is this property classified as current use (open space, farm and agricultural, or timber) land per chapter 84.33 RCW? <input type="checkbox"/> <input checked="" type="checkbox"/>		Gross Selling Price \$ <u>714,000.00</u>	
Is this property receiving special valuation as historical property per chapter 84.26 RCW? <input type="checkbox"/> <input checked="" type="checkbox"/>		*Personal Property (deduct) \$ _____	
If any answers are yes, complete as instructed below.		Exemption Claimed (deduct) \$ _____	
(1) NOTICE OF CONTINUANCE (FOREST LAND OR CURRENT USE) NEW OWNERS(S): To continue the current designation as forest land or classification as current use (open space, farm and agriculture, or timber) land, you must sign on (3) below. The county assessor must then determine if the land transferred continues to qualify and will indicate by signing below, if the land no longer qualifies or you do not wish to continue the designation or classification, it will be removed and the compensating or additional taxes will be due and payable by the seller or transferor at the time of sale. (RCW 84.33.140 or RCW 84.34.106). Prior to signing (3) below, you may contact your local county assessor for more information.		Taxable Selling Price \$ <u>714,000.00</u>	
This land <input type="checkbox"/> does <input type="checkbox"/> does not qualify for continuance.		Excise Tax - State \$ <u>9,180.20</u>	
		Excise Tax - Local \$ <u>3,570.00</u>	
		*Delinquent Interest: State \$ _____	
		Local \$ _____	
		*Delinquent Penalty \$ _____	
		Subtotal \$ <u>12,750.20</u>	
		*State Technology Fee \$ <u>5.00</u>	
		*Advalorem Processing Fee \$ <u>0.00</u>	
		Total Due \$ <u>12,755.20</u>	
		A MINIMUM OF \$10.00 IS DUE IN FEES AND/OR TAX	
		*SEE INSTRUCTIONS	

8. I CERTIFY UNDER PENALTY OF PERJURY THAT THE FOREGOING IS TRUE AND CORRECT.	
Signature of Grantor or Grantor's Agent: <u>JoAnn Grandahl</u>	Signature of Grantee or Grantee's Agent: <u>Mark Peterson</u>
Name (print): <u>JoAnn Grandahl</u>	Name (print): <u>Mark Peterson</u>
Date & city of signing: <u>8/3/2018 Dayton WA</u>	Date & city of signing: <u>8/21/2018 Wenatchee WA</u>
Perjury: Perjury is a class C felony which is punishable by imprisonment in the state correctional institution for a maximum term of not more than five years, or by a fine in an amount fixed by the court of not more than five thousand dollars (\$5,000.00), or by both imprisonment and fine (RCW 9A.20.020 (1C)).	
REV 84.0001a (09/06/17)	

THIS SPACE - TREASURER'S USE ONLY

COUNTY TREASURER

REAL PROPERTY EXCISE TAX
PAID AMT. 12755.20

AUG 23 2018

COLUMBIA COUNTY TREASURER

BY: JoAnn DEPUTY TREASURER

027552

Water Right Statutory Warranty Deed


Grantor: The Grendahl Family Trust
Grantee: Crown Columbia Water Resources, L.L.C. a Delaware limited liability company
Legal Description: Portions of Section 24, T. 12N, R. 38 E.W.M. and portions of Section 19 within T. 12 N., R. 39 E.W.M., Columbia County, Washington.
Assessor's Property Tax Parcel Account Number(s): 2-012-39-019-3620, 2-012-39-019-3640, 2-012-38-024-0020, 2-012-38-024-0030, 2-012-38-024-0040. (Originally identified as 2-012-39-019-3600, 2-012-38-024-0000)

THE GRANTOR, The Grendahl Family Trust, hereby conveys and warrants to Grantee, Crown Columbia Water Resources, L.L.C. Two Hundred Thirty Eight (238) acre feet and Nine Hundred Seven and Seven Tenths gallons per minute (2.0234 cubic feet per second or 907.7 gallons per minute) attributed to water rights identified by Washington State Department of Ecology (DOE) Tracking Claim Number 300054 and Walla Walla Conservancy Board number WALL-17-05. Said acre feet are at least eighty five percent (85%) consumptive and non-interruptible in nature and benefit instream flows from the original diversion point downstream to the Pacific Ocean. This conveyance is from the same quantities of the above referenced rights authorized for placement into the Washington State Water Trust Program and other uses for Grantee in the attached letter from the Department Ecology dated May 15, 2018 and the record of examination it purports to address. Said documents are attached and incorporated by this reference as if fully set forth herein. Grantor warrants that Grantor has good title to convey said water rights and does make such conveyance free and clear of any encumbrances, but subject to the conditions of said transfer documents.

DATED this 3rd day of August, 2018.

GREND AHL FAMILY TRUST

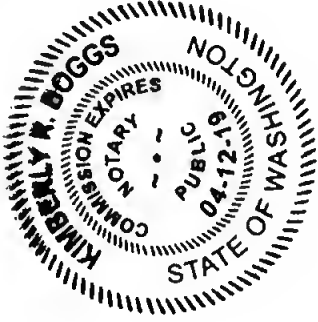
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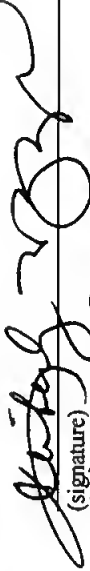

JoAnn Grendahl as Trustee for The Grendahl Family Trust

COUNTY OF WASHINGTON)
) ss.
County of Columbia)

I certify that I know or have satisfactory evidence that JOANN GRENDAHL, Trustee of the Grendahl Family Trust, is the person who appeared before me, and said person acknowledged that she signed this instrument and acknowledged it to be her free and voluntary act for the uses and purposes mentioned in the instrument.

DATED this 3rd day of August, 2018.




(signature)
Kimberly R. Boggs
(printed or typed name)

NOTARY PUBLIC, State of Washington
My Commission Expires 4-12-2019